



# Woodland Joint Unified School District

## Mandatory Pre-Bid Walk Sign-In-Sheet

Measure Y Capital Project Group 1: Cache Creek H.S., Beamer Elem, Dingle Elem, Gibson Elem, Prairie Elem, Plainfield Elem.

**All Bidders Please Provide A Business Card**

**10/5/2023 @ 7:30 am**

By signing this sheet it confirms that you received meeting agenda, project scope or specifications & drawings

COMPANY	REPRESENTATIVE PRINT NAME	SIGNATURE	TELEPHONE	EMAIL PRINT CLEARLY



## MAINTENANCE OPERATIONS AND FACILITIES DEPARTMENT

910 College St. Woodland, CA 95695

(530) 406-5930

### PRE-BID WALK AGENDA Thursday, October 5<sup>th</sup> 7:30 AM

#### Project: **Measure Y Capital Improvement Project Group 1**

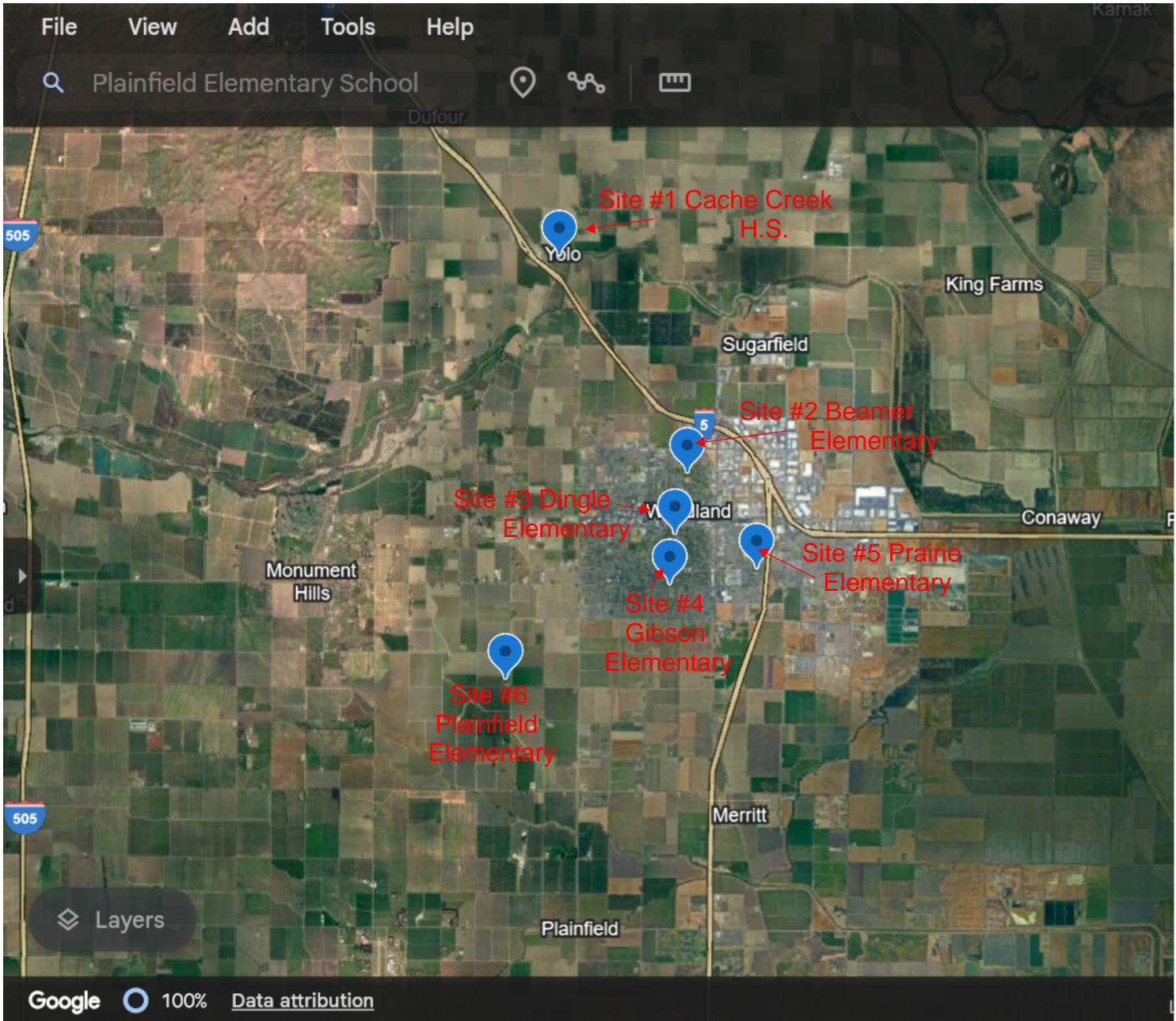
1. Introductions
2. MANDATORY JOB WALK: Beginning at Cache Creek H.S. followed by Beamer, Dingle, Gibson, Prairie, and Plainfield Elementary Schools.
3. Contractors to be Class **B License**
4. Bidders will be required to be registered with DIR.
5. Prequalification documents are available from the Woodland Joint Unified School District website at <http://www.wjUSD.org/Departments/Maintenance-Operations-and-Facilities/index.html>, and at Signature Reprographics, 620 Sunbeam Avenue, Sacramento, CA 95814. Phone: (916) 454-0800, <http://signaturerepro.com> or by contacting Vicki Pulsifer, Facilities Project Manager , Operations and Facilities, at [vicki.pulsifer@wjUSD.org](mailto:vicki.pulsifer@wjUSD.org). Prequalification documents must be submitted by October 18, 2023, at 1:00 pm and can be found on the District page <https://www.wjUSD.org/Departments/Business/Maintenance-Operations-and-Facilities/PRE-QUALCUPPCCA---District-Contractor-Pre-Qualification--CUPCCA-Registration/index.html> –but not less than ten business days prior to proposal submission deadline.
6. Scope of Work: Site Modernization Scope – All Campuses - Add or remove and replace fencing and gates as determined through site visits and discussions with District staff to address security and safety at each site. Building Design (WPES) Modify storefront at entry to accommodate new security entrance to campus. Add door hardware to accommodate new security entry. Provide required ADA upgrades/improvements (path-of-travel, as required by DSA) and replace existing. Replace existing asphalt (in parking areas) and concrete walks where required. Provide landscape design improvements at campus entry from a direct result of desired entry, egress, and safety concerns. Address other miscellaneous site improvements per the direction of the District i.e., shading, pick-up/drop-off locations, and trash bin enclosures where necessary. Painting Scope – All campuses. Dry Rot and Repainting – Prepare separate packages to address any dry rot and repainting of all exterior surfaces as determined through site visits and discussions with Districts staff. Design Site Infrastructure – To support potential future solar and EV charging (PES). The estimated performance period is nine months (December 2023 – August 2024).
7. Bidding Timeline
  - a. RFI's due by email to Vicki Pulsifer at [vicki.pulsifer@wjUSD.org](mailto:vicki.pulsifer@wjUSD.org) on **Wednesday, October 11<sup>th</sup>, 2023, at 3:00 p.m.**
  - b. Last Addendum issued, if required on **Wednesday, October 18<sup>th</sup>, 2023, at 3:00 p.m.** Addendum, if required, will be posted to District Website at: [www.wjUSD.org/Departments/Business/Maintenance-Operations-and-Facilities/Projects](http://www.wjUSD.org/Departments/Business/Maintenance-Operations-and-Facilities/Projects)
8. Bids Due on **Wednesday, October 25<sup>th</sup>, 2023, at 12:00 p.m. Deliver to 910 College St. Woodland, CA 95695**
9. Tentative Start Dates: **TBD**
10. Walk Site



## **Measure Y Group 1 Mandatory Pre-Bid Walk Site Progression Plan**

*Mandatory Pre-Bid Walk will begin at 7:30 a.m. at Cache Creek Highschool in front of the school. Following the walk of Cache Creek H.S. we will proceed in the following order: Beamer Elementary – Dingle Elementary – Gibson Elementary – Prairie Elementary and finish at Plainfield Elementary. Please see below for site addresses.*

1. Cache Creek High School. 14320 2<sup>nd</sup> St. Yolo, CA 95697.
2. Beamer Elementary School. 525 Beamer St. Woodland, CA 95695
3. Dingle Elementary School. 625 Elm St. #3921 Woodland, CA 95695
4. Gibson Elementary School. 312 Gibson Rd. Woodland, CA 95695
5. Prairie Elementary School. 1444 Stetson St. Woodland, CA 95659
6. Plainfield Elementary School. 20450 County Rd. 97 Woodland, CA 95695



# DEMOLITION KEYNOTES

D20 REMOVE EXISTING CONCRETE WALKWAY.  
D21 REMOVE EXISTING AC PAVING.  
D31 REMOVE EXISTING PLANTINGS, MODIFY EXISTING IRRIGATION AS REQUIRED TO ACCOMMODATE NEW WORK.

# KEYNOTES

- 2.10 ASPHALT PAVING AC-#1 - 02510  
3" AC OVER 3" COMPACTED BASE.
- 2.14 CONCRETE PAVING CP-#1 - 02520  
4" CONCRETE OVER 4" AGGREGATE BASE  
#3 REINFORCEMENT BARS @ 24" OC BOTH WAYS
- 2.25 CONTROL JOINT TYPE #1 - 02520, SEE 6/A5.1
- 2.26 EXPANSION JOINT TYPE #1 - 02520, SEE 9/A5.1
- 2.33 STORM DRAINAGE PIPE, 4" ABS
- 5.21 STEEL PIPE HANDRAIL - 05500
- 5.51 STEEL PIPE WHEEL GUIDE - 05500
- 10.33 DIRECTIONAL AND INFORMATIONAL SIGNAGE - 10440
- 10.40 VEHICULAR SITE SIGNAGE - VS-1 - 10440
- 15.08 DRINKING FOUNTAIN
- 9.1 2" WIDE PAINTED WALKING STRIPE AT TOP AND BOTTOM OF STAIR CONTRASTING WITH EXISTING BACKGROUND.

# LEGEND

- NEW CONCRETE
- NEW AC PAVING

OPSC APPLICATION NO.  
57/72710-00-01

IDENTIFICATION STAMP  
DIVISION OF THE STATE ARCHITECT  
OFFICE OF REGULATION SERVICES

02-102354

AC *AP* F/LS *AP* SS *AM*  
DATE: 11/27/00

DSA FILE NO. F7-H7

This drawing is neither final nor is it to be used for construction until it is signed by the Architect

This drawing contains information which is the proprietary property of NTD ARCHITECTS. No unauthorized use, reuse or duplication of these drawings and/or any information contained herein, is permitted, without the express written consent of NTD ARCHITECTS.

# NTD ARCHITECTS

13620 Lincoln Way, Suite 100, Auburn, CA. 95603  
(530) 888-0999 FAX (530) 888-7336  
Glendora • San Diego • Auburn

ARCHITECT

CONSULTANT

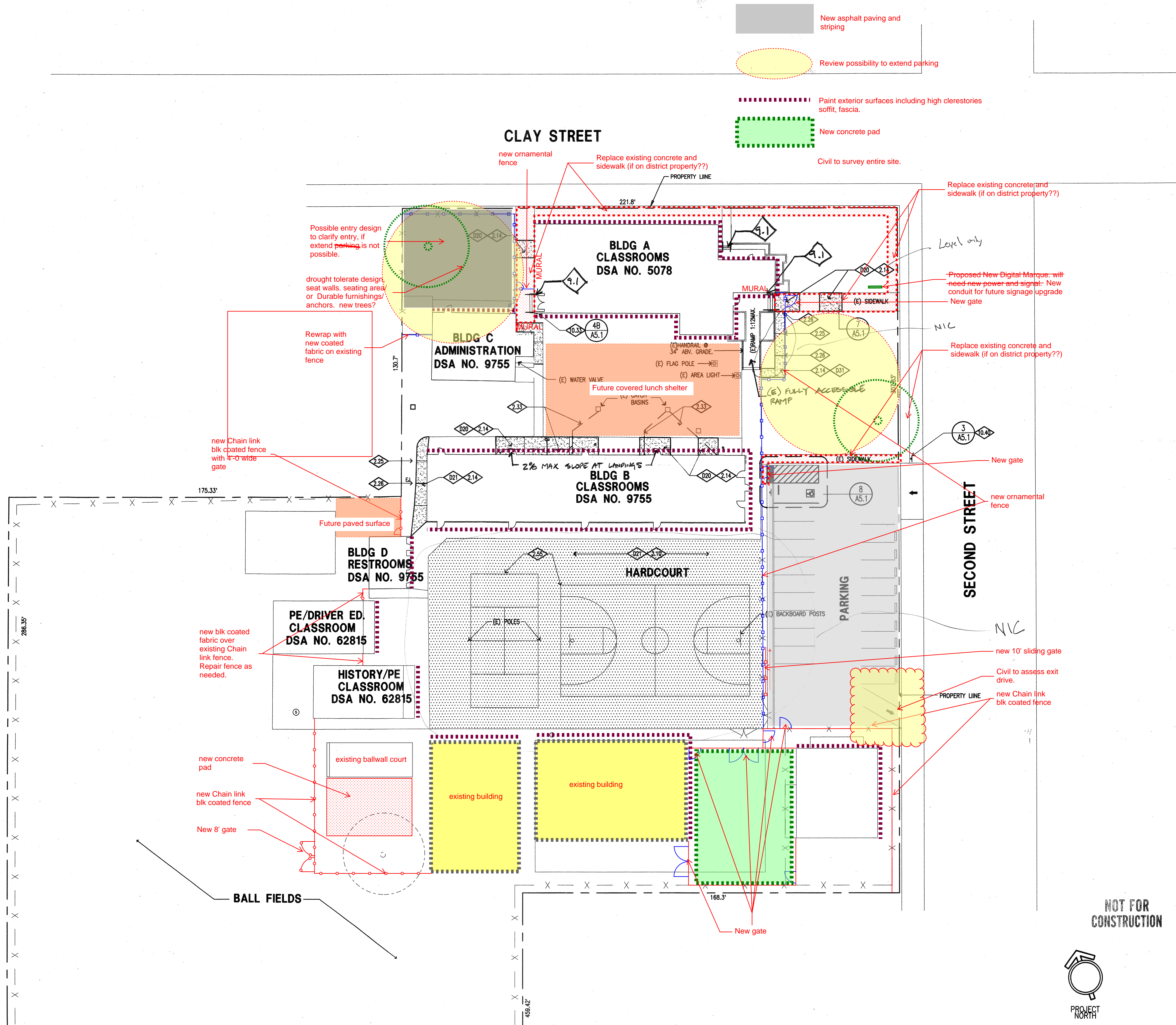
NO.	DATE	REVISION	COMMENTS
1	11-29-00		DSA COMMENTS

PROJECT **WOODLAND JOINT UNIFIED SCHOOL DISTRICT  
CACHE CREEK HIGH SCHOOL**  
145 SECOND ST., YOLO COUNTY, CA

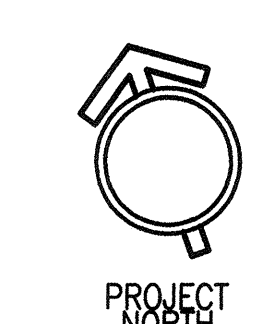
DRAWING TITLE

# SITE PLAN

SEAL 	DRAWN BY GZ/DJ	PROJECT NO. 1999-0326
	CHECKED BY AP	CADD FILE NO. A1.1.DWG
	SCALE 1"=20'-0"	DRAWING NO.
	DATE 8-21-00	<b>A1.1</b>
PRINTED 11-15-00	SHEET	OF



**NOT FOR CONSTRUCTION**



New Seal coat and striping

Revised Front entry drop off and pick up at entry

Paint exterior surfaces including high clerestories

Remove existing Landscape with new DG?

Civil to survey entire site.

**KEYNOTES**

- EXISTING**
- E01 FENCE
  - E02 GRASS PLAY AREA
  - E03 AC PAVED PLAY AREA
  - E04 20'-0" GATE
  - E05 FIRE HYDRANT
  - E06 ACC. UNISEX RESTROOMS DSA APPL. # 02-102407
  - E07 ACC. GIRLS RESTROOMS - DSA APPL. #02-102407
  - E08 ACC. BOYS RESTROOMS - DSA APPL. #02-102407
  - E09 ACC. UNISEX KINDERGARTEN RESTROOMS - DSA APPL. # 02-102407
  - E10 ACC. UNISEX FACULTY RESTROOMS DSA APPL. # 02-102407
  - E11 ACC. BOYS & GIRLS RESTROOM - DSA APPL.# 02-102407
  - E12 ACC. RAMP - DSA APPL. #02-102407
- NEW/ALTERATION**
- N01 ACCESSIBLE PARKING STALLS
  - N02 HI-LOW ACCESSIBLE DRINKING FOUNTAIN - SEE DTL. T/AB.1
  - N03 "SAFE DISPERSAL AREA" MIN. 50'-0" FROM ANY BUILDING IN ANY DIRECTION  
AREA = 2,500 sf. @ 5sf. PER PERSON = 500 OCCUPANTS.
  - N04 RESTRIPE PARKING STALLS 23 THRU 34
  - N05 PARKING LOT TON-AWAY SIGN ON (E) POLE - SEE DTL. 10C/AB.1
- REMOVAL/DEMOLITION**
- R01 DRINKING FOUNTAIN
  - R02 PARKING STRIPING 23 THRU 34

**PARKING SUMMARY**

TOTAL PARKING STALL COUNT:	33 STALLS
REQUIRED PARKING STALLS:	
ACCESSIBLE STALLS:	1 (26-50 TOTAL STALLS)
VAN ACCESSIBLE STALLS:	1 (1-6 STALLS)

STALLS PROVIDED:  
ACCESSIBLE STALLS: 1  
VAN ACCESSIBLE STALLS: 1  
New gate (slider type if possible)

**FLOOD ZONE INFORMATION**

FLOOD ZONE DESIGNATION: AE  
FIRM PANEL DESIGNATION: 06113C 0451H  
EFFECTIVE DATE: MAY 16, 2012  
BASE FLOOD ELEVATION: +58.5'  
APPLICABLE COMMUNITY DEVELOPMENTS: CITY CODE SEC. 6-2-17 ZONING ORD. ARTICLE 9

Civil to verify grades and striping for parking

4 DEMOLITION  
5 ALTERATION

Create new 6'-0" Chainlink black coated fenced with vinyl slats in enclosure for garbage bins, with heavy duty gates and concrete pad.

(E) HOUSE

add new trees to replace the existing. lay new conduit for future signage upgrade.

electronic control to new gates. add bell connected to admin via software. Verify with allegion

Note: NO PAINT NEEDED ON THIS CAMPUS

new proposed landscape area.  
-benches compacted surface.  
-Drought tolerant plantings

**BUILDING LEGEND**

BLDG	DSA APPL. #	YEAR	CONST.	OCC.	S.F.
(E) CLASSROOMS					
A	19710 - 02-102407	III - NR	E		8,696 SF
(E) ADMINISTRATION BUILDING/OFFICE					
B	61889 - 02-102407	V - NR	B		3,280 SF
(E) CLASSROOM BUILDING					
C	19710 - 02-102407	III - NR	E		8,820 SF
(E) MULTI-PURPOSE AND CLASSROOM BUILDING					
D	19710 - 02-102407	IV - HT	A		8,820 SF
(E) MODULAR BLDG. 24x40					
E	02-102578	V - B	E		960 SF
(E) MODULAR BLDG. 24x40					
F	52513	V - B	E		960 SF
(E) MODULAR BLDG. 12x40					
H	02-100637	V - B	E		480 SF
(E) MODULAR BLDG. 24x40					
J	02-100637	V - B	E		960 SF
(E) MODULAR BLDG. 24x40					
K	02-100637	V - B	E		960 SF
(5) MODULAR BLDG'S. 24x40					
L	02-66974	V - B	E		4,800 SF
(1) (N) 24x40 MODULAR CLASSROOM BUILDING					
M	THIS APPLICATION	V - B	E		960 SF

**ACCESSIBLE PATH OF TRAVEL**

- ..... PATH OF TRAVEL (P.O.T.)
- AS INDICATED IS A BARRIER-FREE ACCESS w/o ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAX. SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL.
- SURFACES SHALL BE MIN. 4'-0" WIDE (OR AS OTHERWISE APPROVED BY CODE) AND SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND NOT EXCEED 1:20 (5%) RUNNING SLOPE UPON AND 1:50 (2%) CROSS SLOPE.
- HAS A 4" MAX. DROP AT EDGE OF P.O.T. EXCEPT ADJACENT TO PARKING AREAS WHERE EDGE MAY BE UP TO 6" MAX.
- SHALL BE FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALLS BETWEEN 27" AND 80" ABOVE THE P.O.T. SURFACE.
- PASSING SPACES OF AT LEAST 60"x60" SHALL BE LOCATED NOT MORE THAN 200'-0" APART.

THE ARCHITECT HAS SURVEYED/INSPECTED THE P.O.T. AS INDICATED ON THE PLANS & HAS FOUND IT TO BE, OR HAS INDICATED ON THE PLANS ANY REMEDIAL WORK NECESSARY WHICH WOULD CAUSE IT TO BE, A BARRIER-FREE ACCESSIBLE ROUTE AS NOTED ABOVE.

**BUILDING CLASSIFICATION**

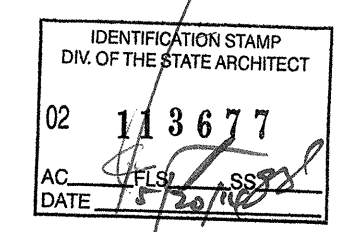
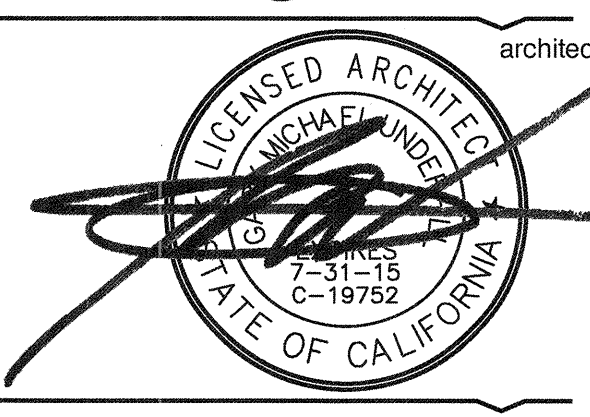
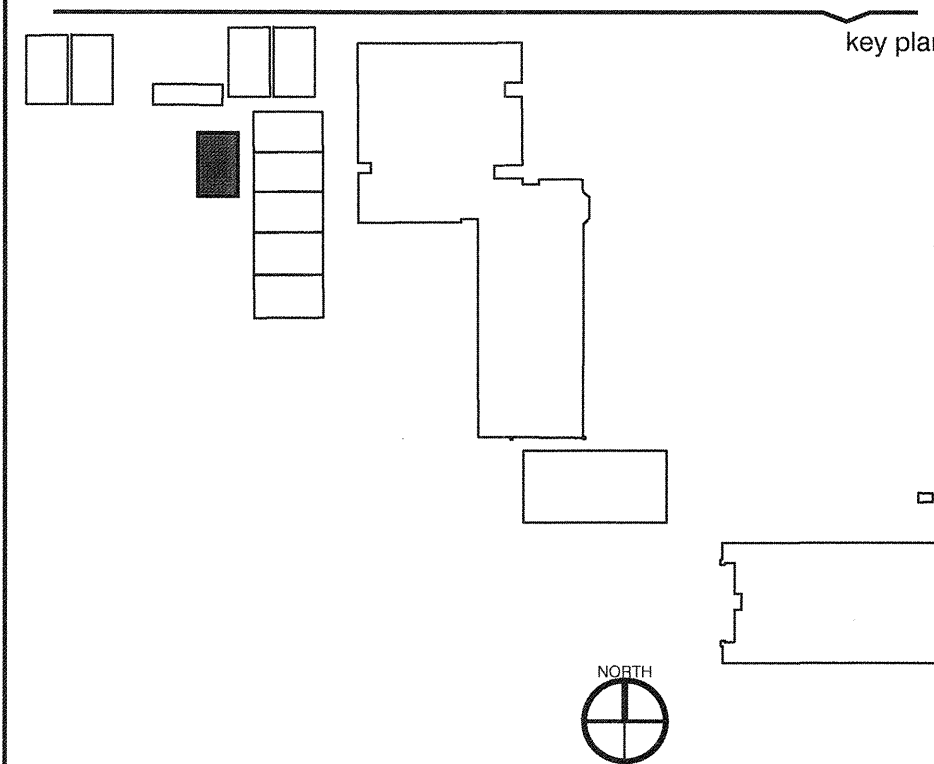
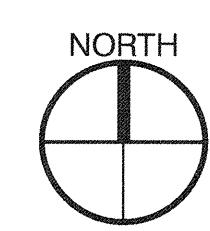
OCCUPANCY GROUP	E
CONSTRUCTION TYPE	V-B
BASIC ALLOWABLE AREA	9,500 S.F.
ACTUAL BUILDING AREA	(E) 7,200 S.F.
SUMMARY	(N) 960 S.F.
8,160 > 9,500 O.K.	TOTAL 8,160 S.F.
(SEPARATION FROM ALL BLDGS BY AT LEAST 20 FT.)	

**SITE NOTES**

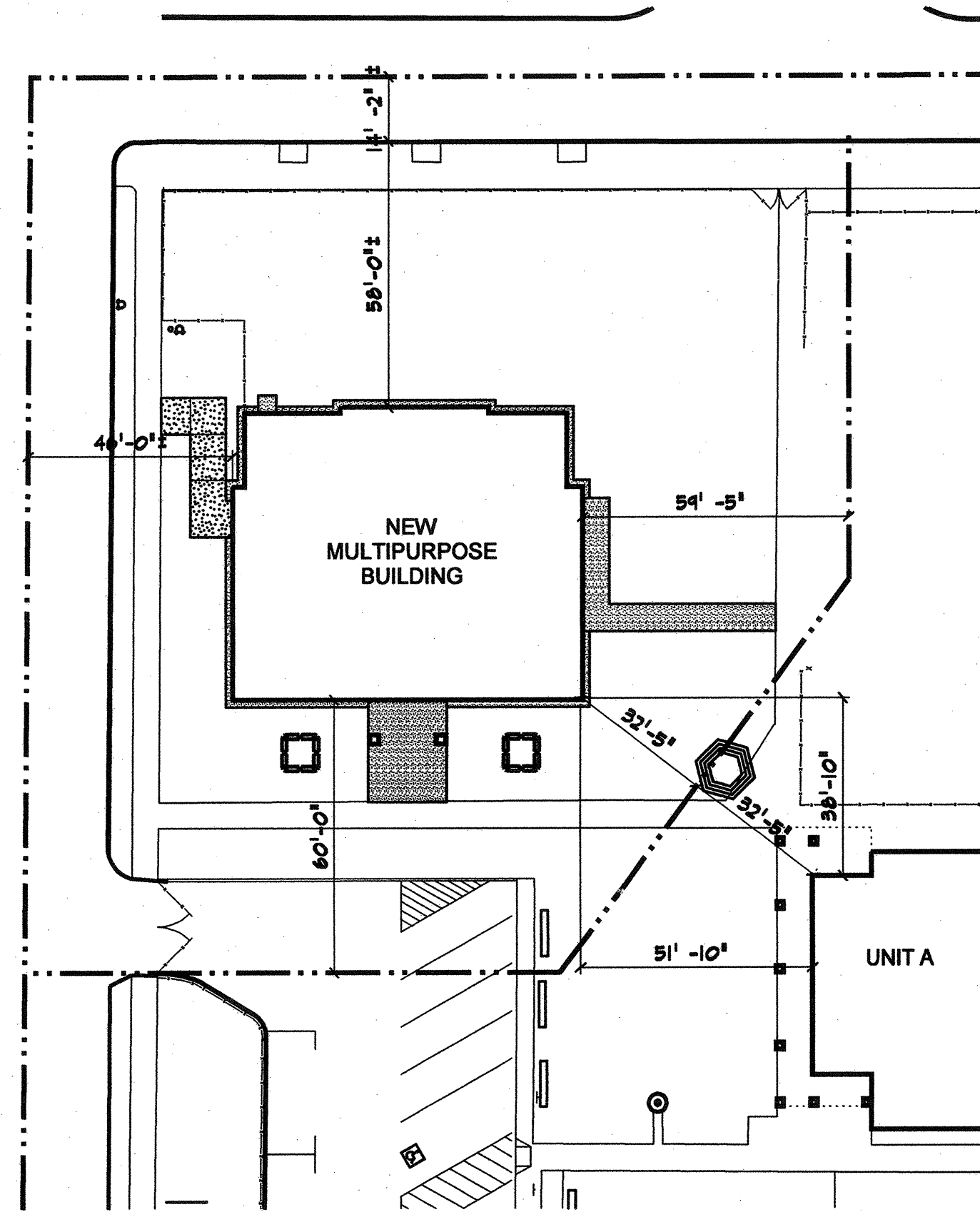
1. ALL CONCRETE PAVING, LANDSCAPING, IRRIGATION SYSTEMS, FENCING OR OTHER FACILITIES DISMANTLED OR DAMAGED BY THE CONTRACTOR(S) DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED OR REPAIRED TO ITS FORMER CONDITION AT NO COST TO THE OWNER AND/OR THE GOVERNING AGENCY.
2. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, GRADES AND OTHER EXISTING CONDITIONS AT THE PROJECT SITE PRIOR TO THE START OF WORK. IF ANY DISCREPANCIES EXIST BETWEEN THE EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR APPROVAL OR CORRECTION OF SUCH DISCREPANCY.
3. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A LICENSED LAND SURVEYOR OR BY A QUALIFIED REGISTERED CIVIL ENGINEER.
4. THIS CAMPUS HAS ONLY UNISEX RESTROOMS FOR STAFF.

**LEGEND**

- (N) BUILDING
- (E) BUILDING
- (E) FIRE HYDRANT
- ..... PATH OF TRAVEL (P.O.T.)



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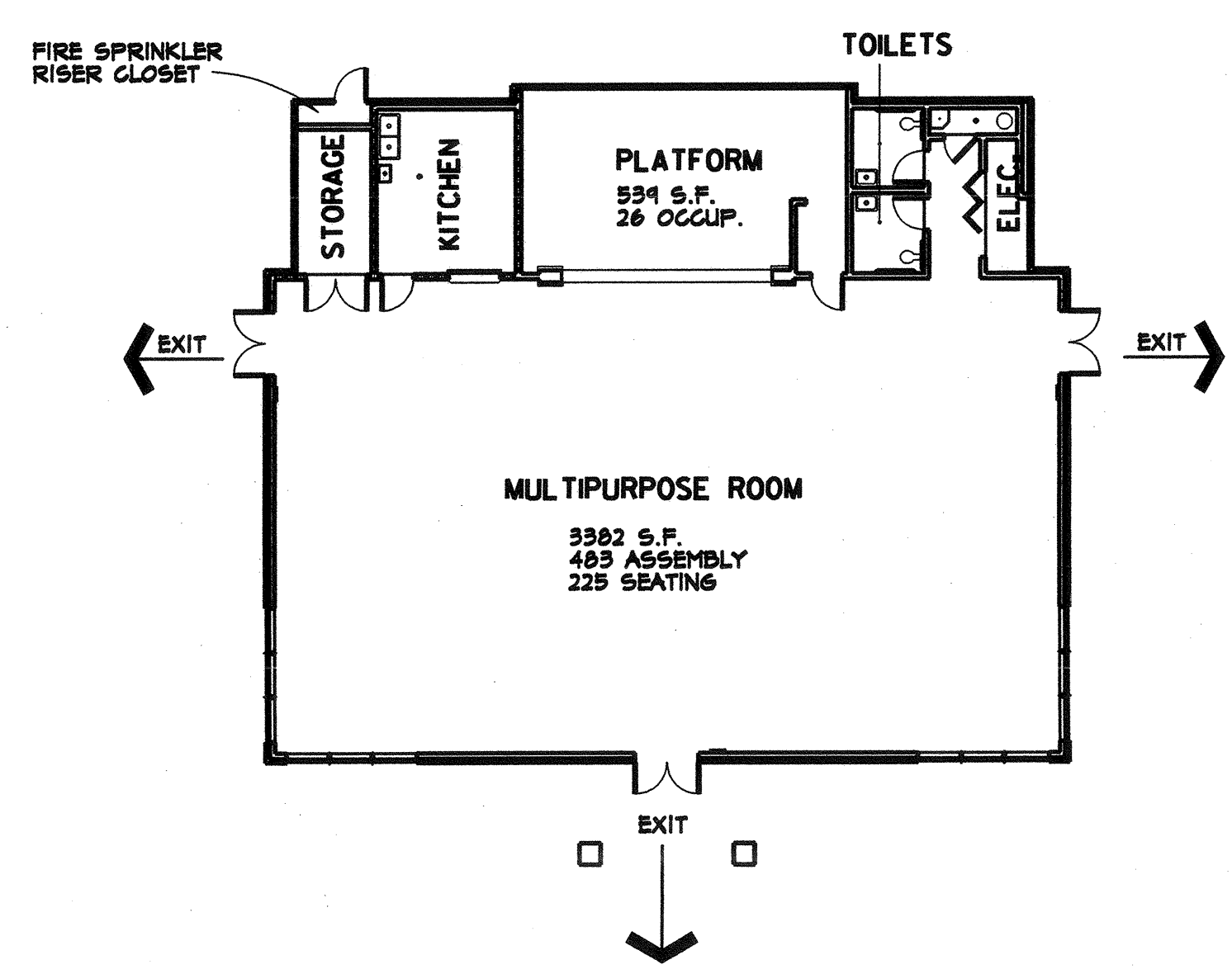


**CODE ANALYSIS PLAN**  
SCALE: 1"=30'-0"

**CODE DATA:**

CONSTRUCTION TYPE	OCCUPANCY	ALLOWABLE AREA	AREA	NOTES
MULTI-PURPOSE BUILDING	II-ONE HOUR	A2.1	4,785	(1), (2)

(1) AUTOMATIC FIRE SPRINKLER SYSTEM USED AS SUBSTITUTE FOR ONE-HOUR RESISTANCE PER 2001 CBC SECTION 509



**AREA, OCCUPANCY & EXITING DIAGRAM**  
SCALE: 1/2"=1'-0"

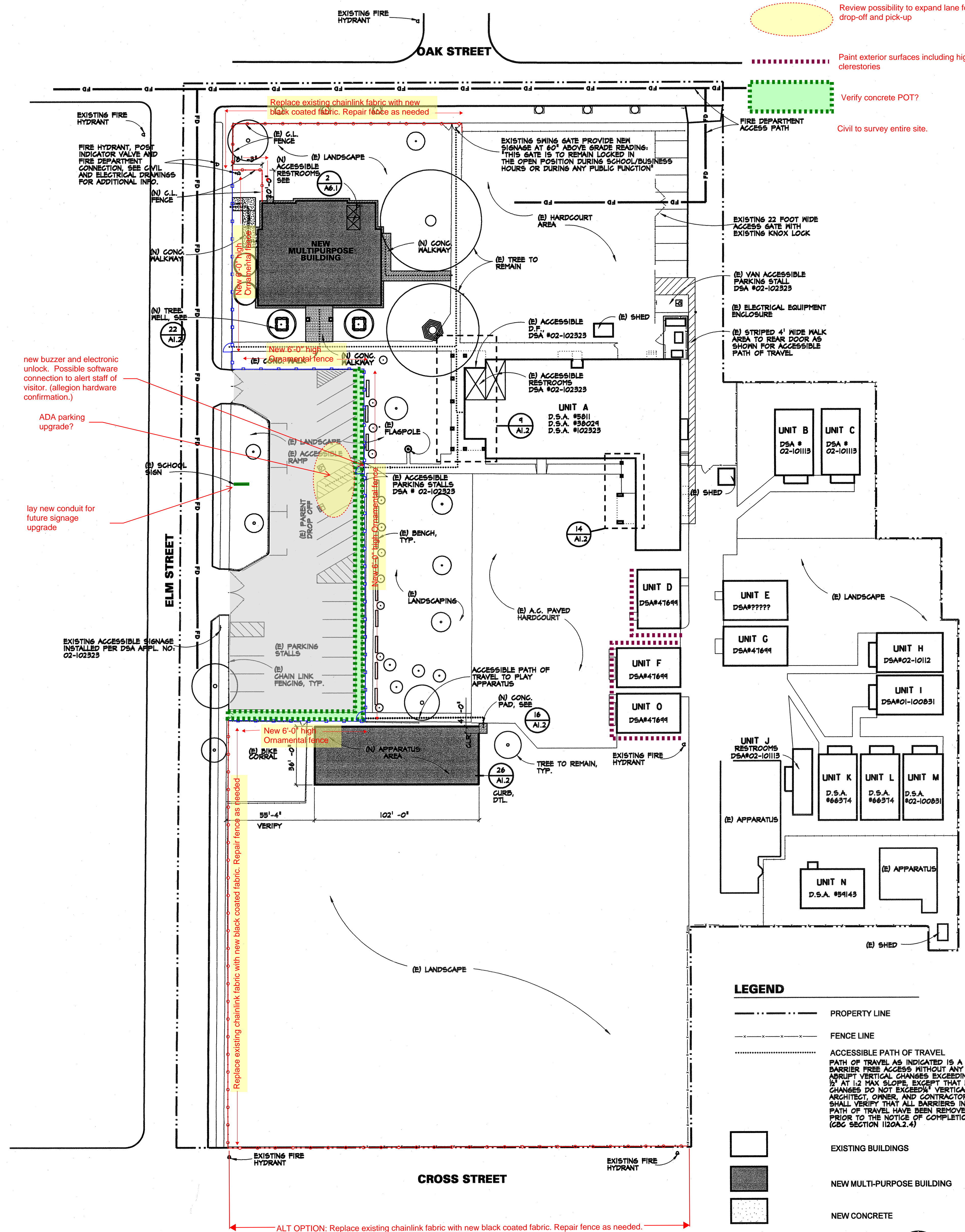
FIRE DEPARTMENT ACCESS, EGRESS AND GATE ENTRANCES HAVE BEEN REVIEWED FOR COMPLIANCE WITH SECTION 3.05 AND 3.16, TITLE 14;

FIRE FLOW AND FIRE HYDRANTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH STATE APPENDICES III-AA AND III-B, PART 4, TITLE 24;

LOCATION OF FIRE DEPARTMENT CONNECTION (FDC) FOR FIRE SPRINKLERS HAS BEEN REVIEWED (IF APPLICABLE).

NAME OF REVIEWER: MATT FLINT  
 TITLE: FIRE PREVENTION SPECIALIST II  
 AGENCY: WOODLAND FIRE DEPT.  
 ADDRESS: 532 COURT ST. WOODLAND CA, 95695  
 SIGNATURE: [Signature]  
 DATE: FEB. 12, 2004

**2 LOCAL FIRE AUTHORITY REVIEW**



**SITE PLAN**  
SCALE: 1"=30'-0"

**LEGEND**

- PROPERTY LINE
- FENCE LINE
- ACCESSIBLE PATH OF TRAVEL
- PATH OF TRAVEL AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1:2 MAX SLOPE EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL
- ARCHITECT, OWNER, AND CONTRACTOR SHALL VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED PRIOR TO THE NOTICE OF COMPLETION. (CBC SECTION 102A.2.4)
- EXISTING BUILDINGS
- NEW MULTI-PURPOSE BUILDING
- NEW CONCRETE

**LIONAKIS-BEAUMONT DESIGN GROUP INC**  
 1414 14TH STREET - SACRAMENTO, CA 95814  
 916-558-1900 FAX 916-558-1414

ARCHITECTURE · ENGINEERING · PLANNING · INTERIORS

BRUCE R. STARKWEATHER, AIA C 9487  
 TIMOTHY J. FRY, SE SE 3381

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PROJECT NO. 21110A DATE FEB. 2004  
 DRAWN BY MPG CHECKED BY RN

---

ARCHITECT [Signature] ENGINEER [Signature]

---

CONSULTANT

NO.	REVISIONS	AUTHORIZATIONS	DATE	BY

---

AGENCY APPROVALS

FILE NO.: 57-37  
 IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT  
 OFFICE OF REGULATION SERVICES  
 APPL. 02-105747  
 FILED 11 88 02  
 DATE 2-18-04

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PROJECT

**DINGLE ELEMENTARY SCHOOL MULTI-PURPOSE BUILDING**  
 Woodland Joint Unified School District

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KEY PLAN

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SHEET TITLE

**SITE PLAN**

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SHEET NO.

**A1.1**

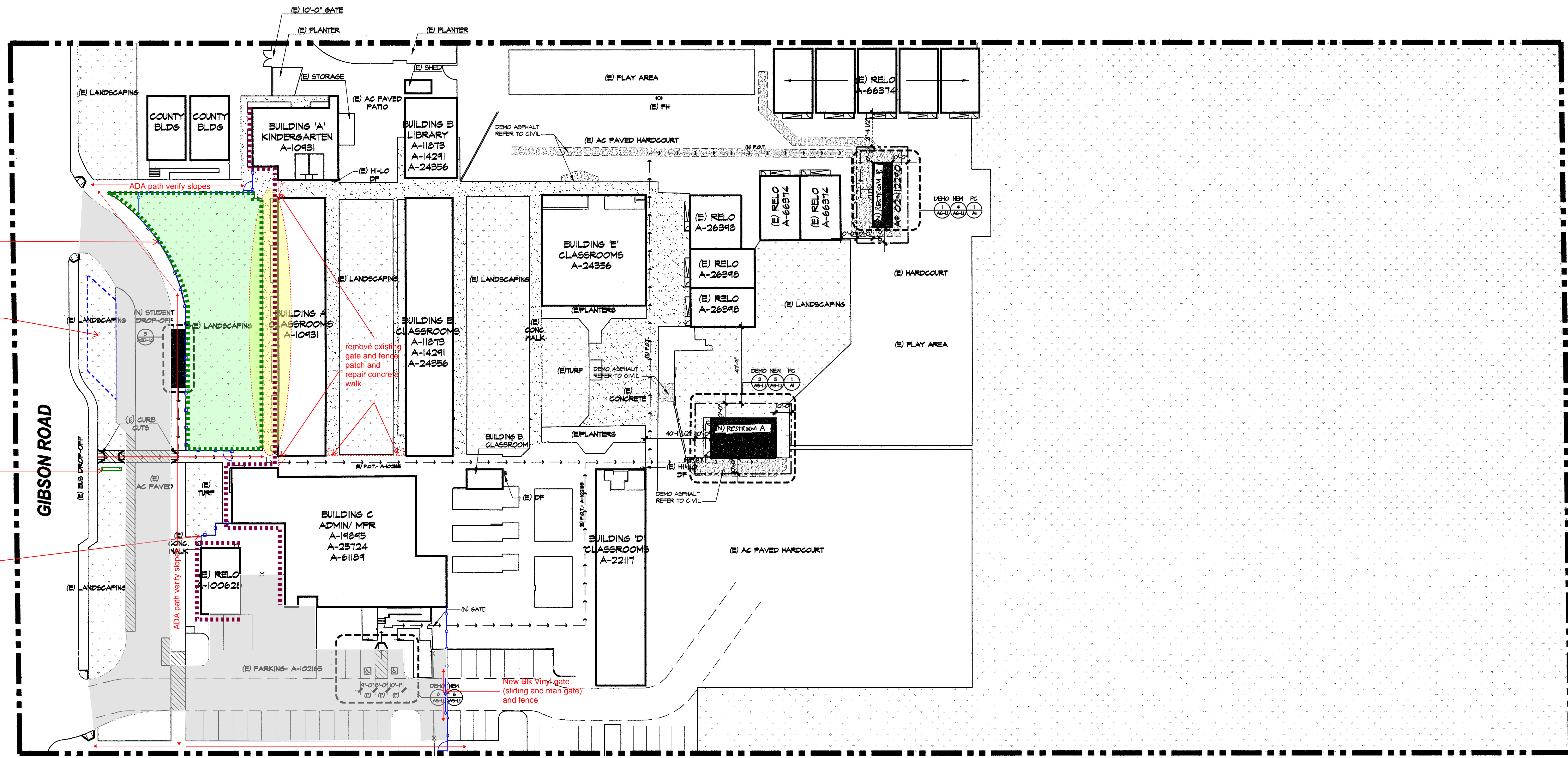
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SHEET NO. OF TOTAL SHEETS

- New asphalt paving and striping
- Review possibility to expand lane for drop-off and pick-up
- Paint exterior surfaces including high clerestories
- Verify concrete POT?
- Civil to survey entire site.

- new buzzer and electronic unlock. Possible software connection to alert staff of visitor. (allegation hardware confirmation.)
- ADA parking upgrade?
- lay new conduit for future signage upgrade

ALT OPTION: Replace existing chainlink fabric with new black coated fabric. Repair fence as needed.



New Ornamental fence around existing tree grove

Civil to verify additional parking options. If V-gutter needed, move off back of angled parking by a 1'-0".

Lay new conduit for future signage upgrade

Replace existing Blk vinyl fence with new ornamental

PARKING LOT	STANDARD PARKING STALLS PROVIDED	46
	ACCESSIBLE PARKING STALLS REQUIRED	2
	ACCESSIBLE PARKING STALLS PROVIDED - INCLUDING (1) VAN	2
TOTAL PARKING STALLS		48

**EXISTING PARKING TABULATION**

--- ASSUMED PROPERTY LINE

→ PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (POT) SHALL MAINTAIN FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (105B.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (105B.6). ARCHITECT TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 1185B.

GENERAL DOOR NOTE:  
ALL DOORS ALONG PATH OF TRAVEL TO BE TESTED AND ADJUSTED AS REQUIRED TO MEET 5 LBS. MAX OPERATING PRESSURE, 5 SECOND SHEEP PERIOD (IF THERE IS A CLOSER) AND THRESHOLD WITH MAX 1/4" LIP & 1/2" LEVEL CHANGE WITH 1:2 MAX SLOPE.

LEGEND	-
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**SITE PLAN** 1"=30'-0" 1

BUILDING NAME	OCCUPANCY SECTION 505	TYPE OF CONSTRUCTION	STORIES	HEIGHT	BUILDING AREA (S.F.)			REMARKS
					BASIC ALLOWABLE AREA TABLE 505	EXISTING BUILDING AREA	NEW BUILDING AREA	
RESTROOM A	E	V-B	1	12'-0"	4500	0	460	*RELOCATABLE BUILDING FABRICATED SPECIFICALLY FOR THIS APPLICATION
RESTROOM B	E	V-B	1	12'-0"	4500	0	460	*RELOCATABLE BUILDING FABRICATED SPECIFICALLY FOR THIS APPLICATION

**CODE ANALYSIS**

IN ACCORDANCE WITH PART 1, TITLE 24, C.C.R. BUILDING STANDARD ADMINISTRATIVE CODE ARTICLE 3, APPROVAL OF DRAWINGS AND SPECIFICATIONS, SECTION 4-317(G). DUE TO THE DIFFICULTY OF ANTICIPATING EVERY UNSATISFACTORY CONDITION THAT MIGHT BE FOUND IN EXISTING CONSTRUCTION WHERE ADDITION, ALTERATION, REHABILITATION OR RECONSTRUCTION WORK IS PROPOSED, THE FOLLOWING CLAUSE OR ONE OF SIMILAR MEANING SHALL BE INCLUDED IN THE SPECIFICATIONS:

"SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY DSA APPROVED DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE REPAIR WORK."

- New asphalt paving and striping
- Review Concrete walk and ADA sloping. replace with new 3'-0" concrete walk with ada threshold and approach to each door. New seat wall. Possible funding from Tree Group (Jim)
- Paint exterior surfaces including high clerestories
- Remove grass for new "path among the trees". DG?
- Civil to survey entire site.

PROJECT NO.	14105-AS-10-5P.dwg	
DRAWN BY	CHECKED BY	
ISSUED	REVISIONS	
NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

**RUHNAURUHNARKE**  
ARCHITECTS PLANNERS

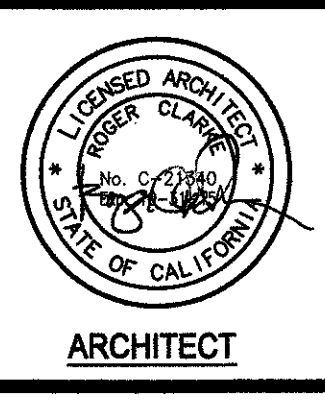
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5751 Palmer Way Suite C Carlsbad CA. 92010 / t 760.438.5899 / f 760.931.8194  
1215 K Street, Sacramento, CA 95814 / t 916.503.3132 / f 916.503.2401

**GIBSON ELEMENTARY SCHOOL**  
**RESTROOM PORTABLES**

312 GIBSON ROAD, WOODLAND, CA 95695

WOODLAND JOINT UNIFIED SCHOOL DISTRICT

CONSULTANT



IDENTIFICATION STAMP  
DIV OF THE STATE ARCHITECT  
OFFICE OF REGULATION SERVICES

02-113580  
AC 4 PL 2 SS 4  
DATE 4-8-14

DSA APPROVAL

OVERALL SITE PLAN

SHEET NUMBER

**AS-1.0**



### LEGEND

- (E) BOYS RESTROOM
- (E) GIRLS RESTROOM
- (E) UNISEX RESTROOM

ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPES DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.

- PROPERTY LINE
- APPROXIMATE LIMITS OF WORK
- (E) BUILDING TO REMAIN WITH NO PLANNED SCOPE OF WORK
- RELOCATABLE CLASSROOM
- (E) COVERED WALKWAYS
- AREA OF SAFE DISPERSAL 715 (TOTAL OCC) x 5 SF/OCC = 3,575 SF

### PARKING SUMMARY

	NON ACCESSIBLE SPACES	STANDARD ACCESSIBLE REQUIRED	STANDARD ACCESSIBLE PROVIDED	VAN SPACES REQUIRED	VAN SPACES PROVIDED	TOTAL
OVERALL	58	2	2	1	1	61

### CODE ANALYSIS LEGEND

USE Name  
 SQUARE FOOTAGE 150 SF/20  
 OCCUPANT LOAD 66  
 OCCUPANT LOAD FACTOR

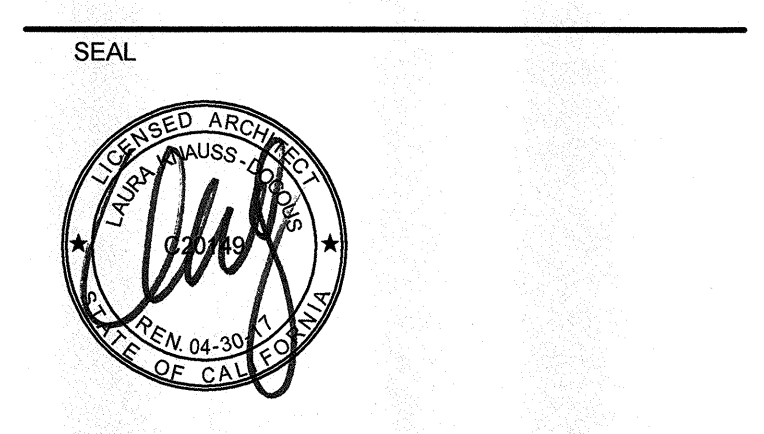
FIRE EXTINGUISHER  
 CABINET FIRE EXTINGUISHER FE

### CODE ANALYSIS

- GOVERNING CODE: CALIFORNIA BUILDING CODE 1997
- OCCUPANCY TYPE: (CBC 303 & 304) GROUP E
- CONSTRUCTION TYPE: (CBC 602 & TABLE 601) TYPE V-B; NON-SPRINKLERED
- BASIC ALLOWABLE SQUARE FOOTAGE: (CBC TABLE 503)
 

OCCUPANCY GROUP	ALLOWABLE BLDG AREA	MAX NO OF STORIES	ALLOWABLE BLDG HGT
GROUP E	9500 SF	1 STORY	40 FT
- ACTUAL BUILDING HEIGHT: 12'-0" 1 STORY
- ACTUAL BUILDING AREA:
 

BLDG P1	BLDG P2	TOTAL
1,099 SF	1,066 SF	2,176 SF



PROJECT  
**WOODLAND PRAIRIE ELEMENTARY SCHOOL RELOCATABLE CLASSROOM ADDITIONS**  
 1444 STETSON ST  
 WOODLAND, CA 95776

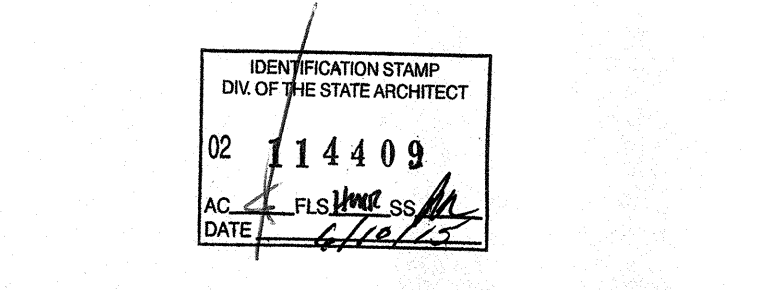
CLIENT  
 WOODLAND JOINT UNIFIED SCHOOL DISTRICT  
 435 6TH ST, WOODLAND, CA 95695

### ISSUED

MARK	DATE	DESCRIPTION
	06/10/2015	DSA APPROVAL

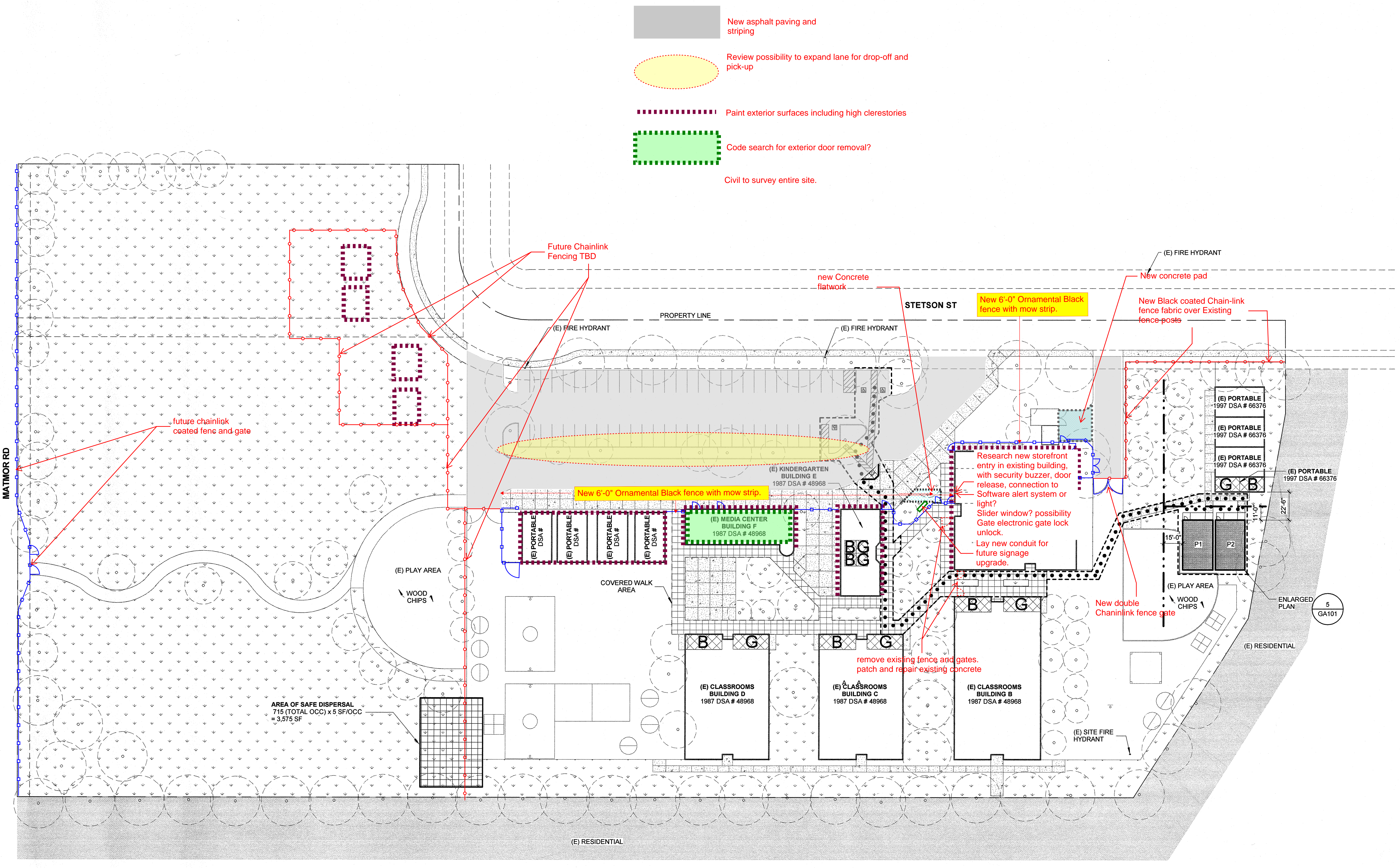
MANAGEMENT  
 LIONAKIS PROJECT NO: 015150  
 CLIENT PROJECT NO: LIONAKIS 2015  
 COPYRIGHT: LIONAKIS 2015

AGENCY

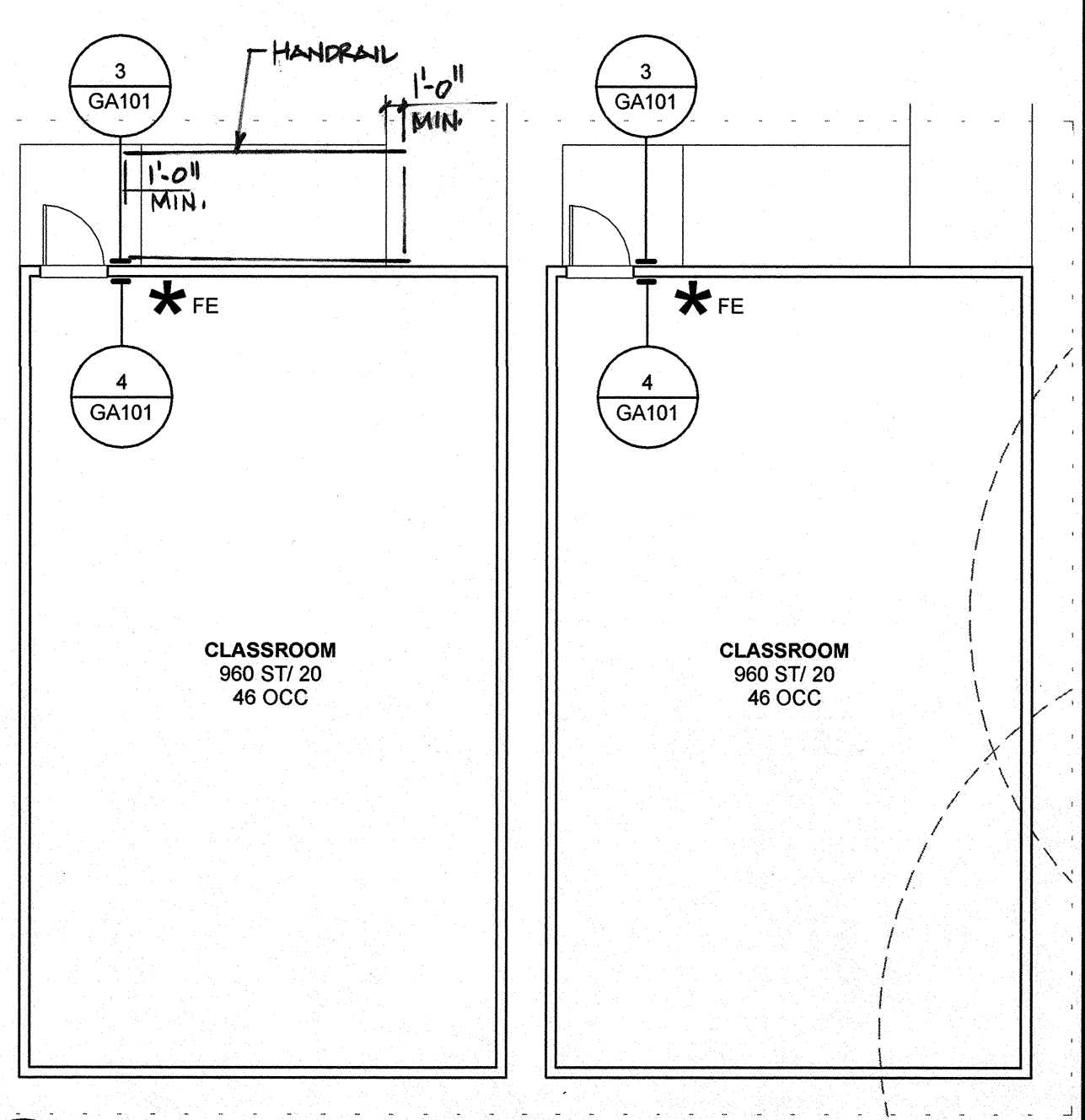
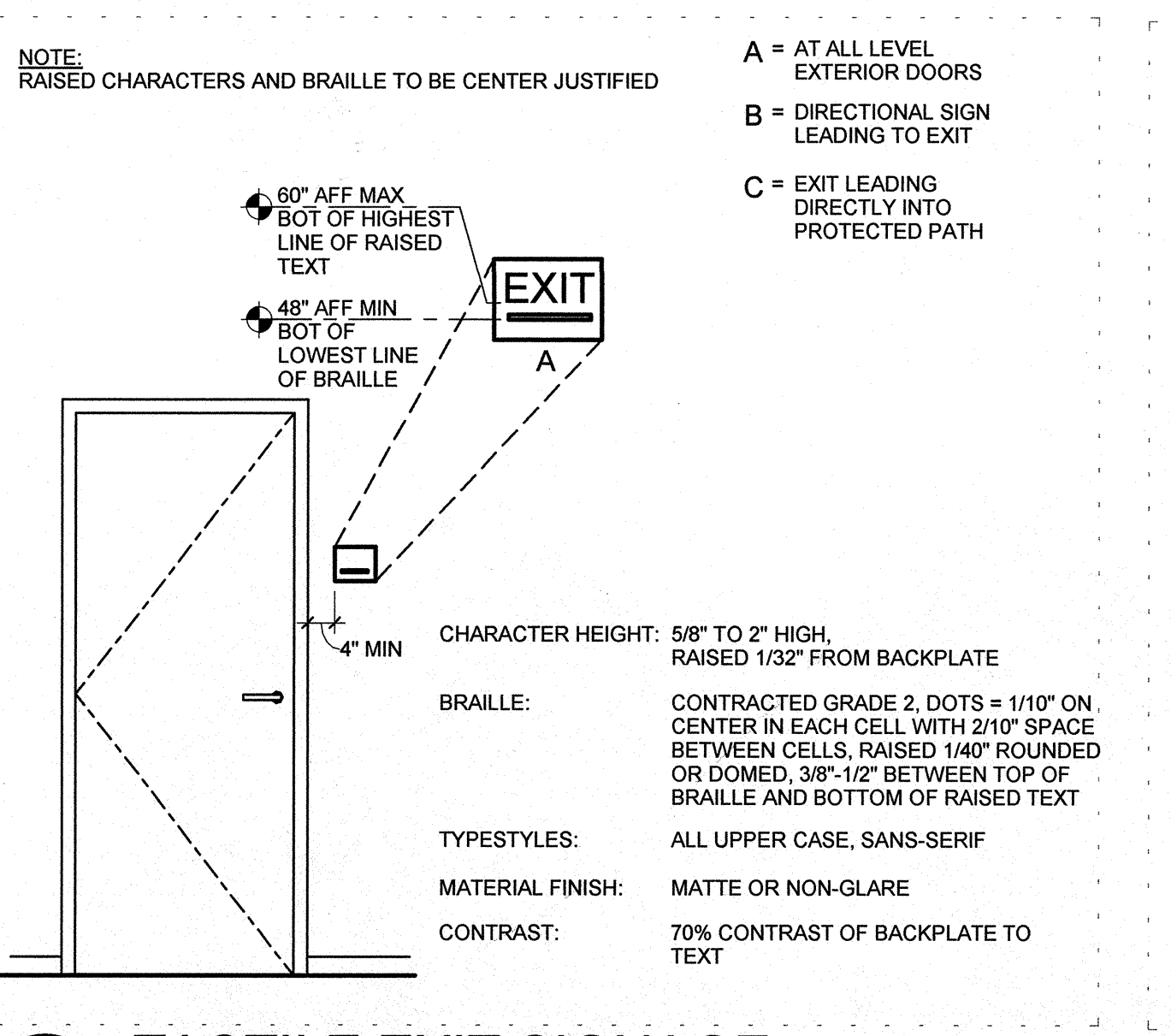
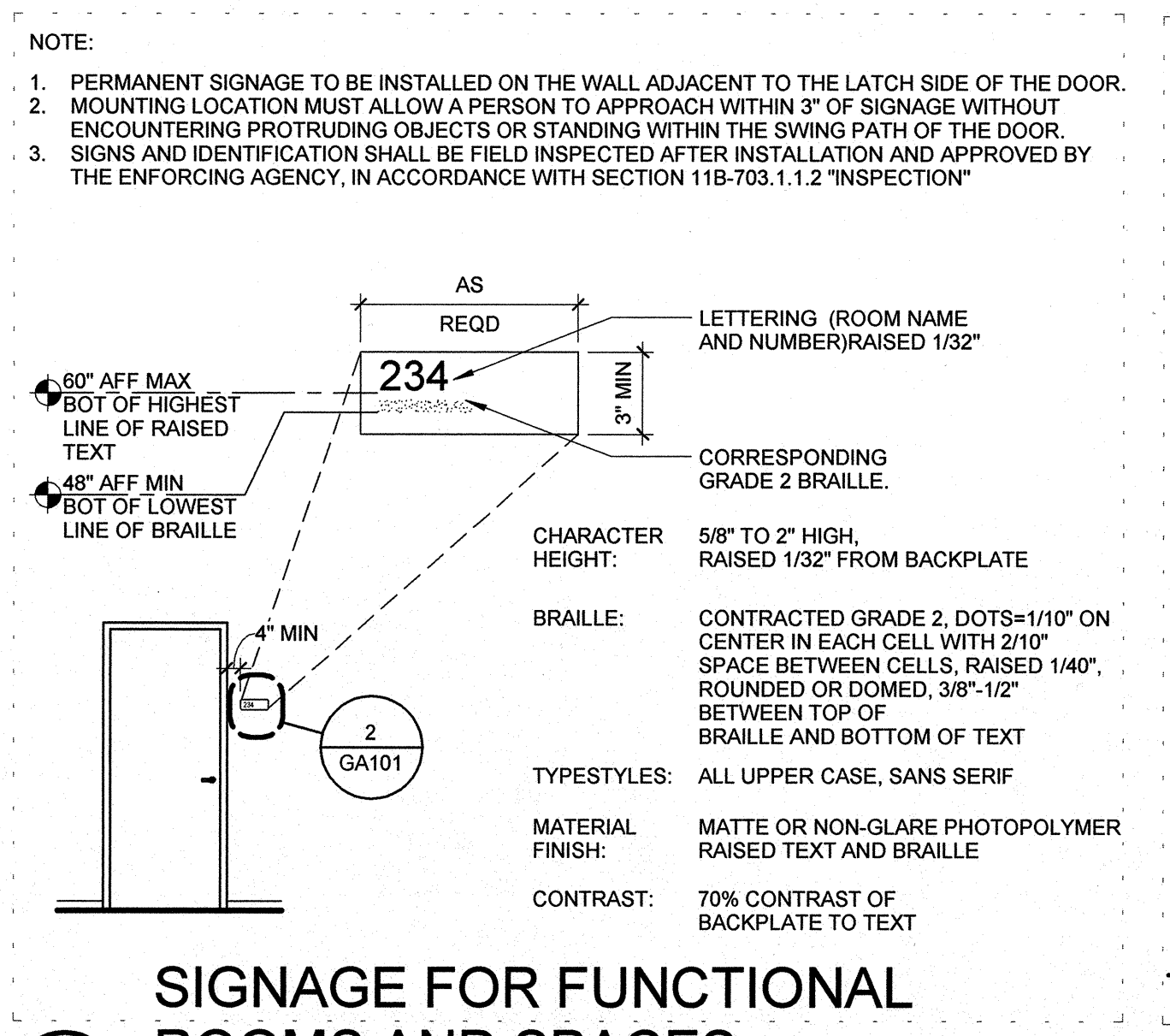
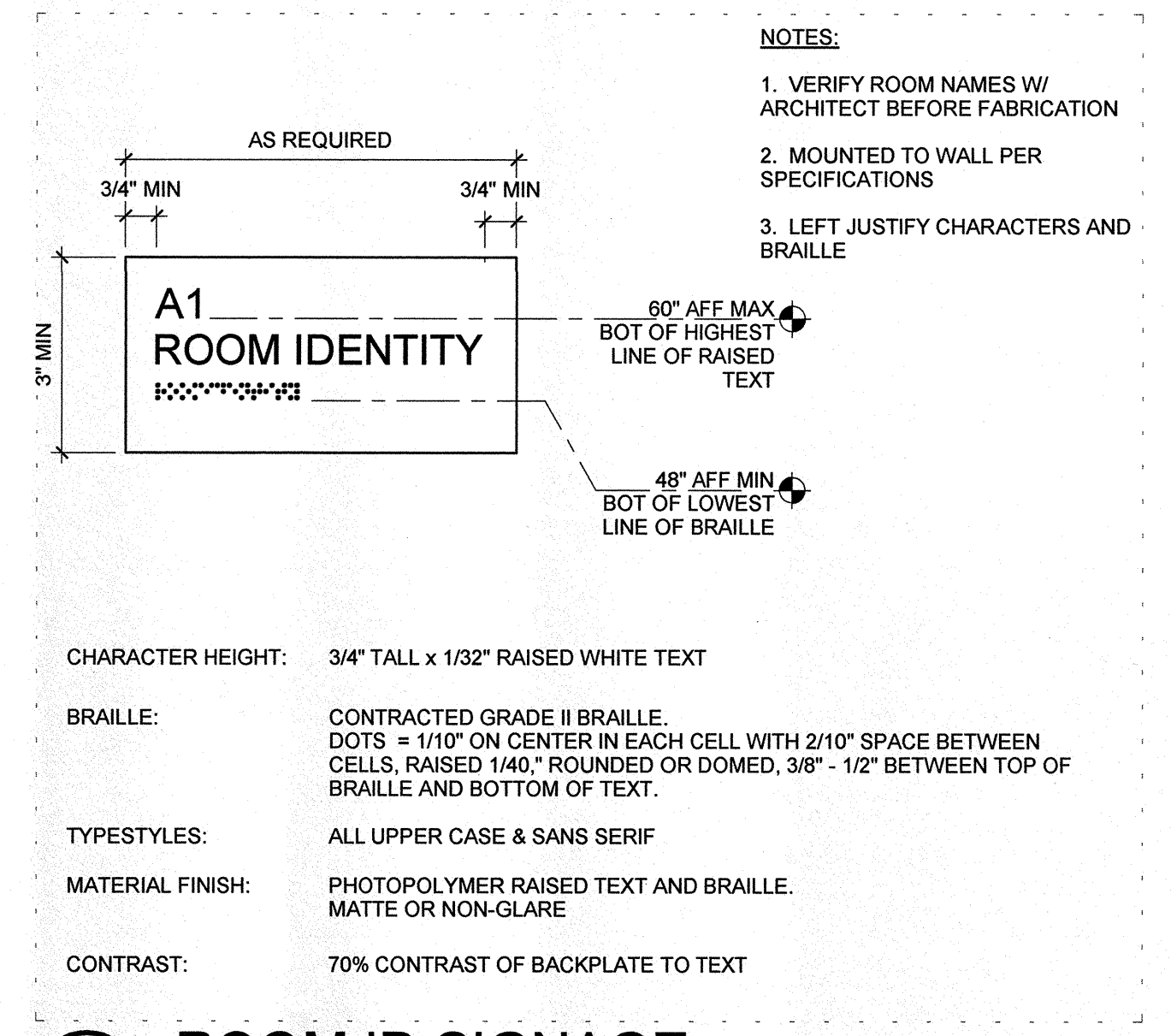


TITLE  
**SITE ACCESSIBILITY & LIFE SAFETY PLAN**

SHEET  
**GA101**

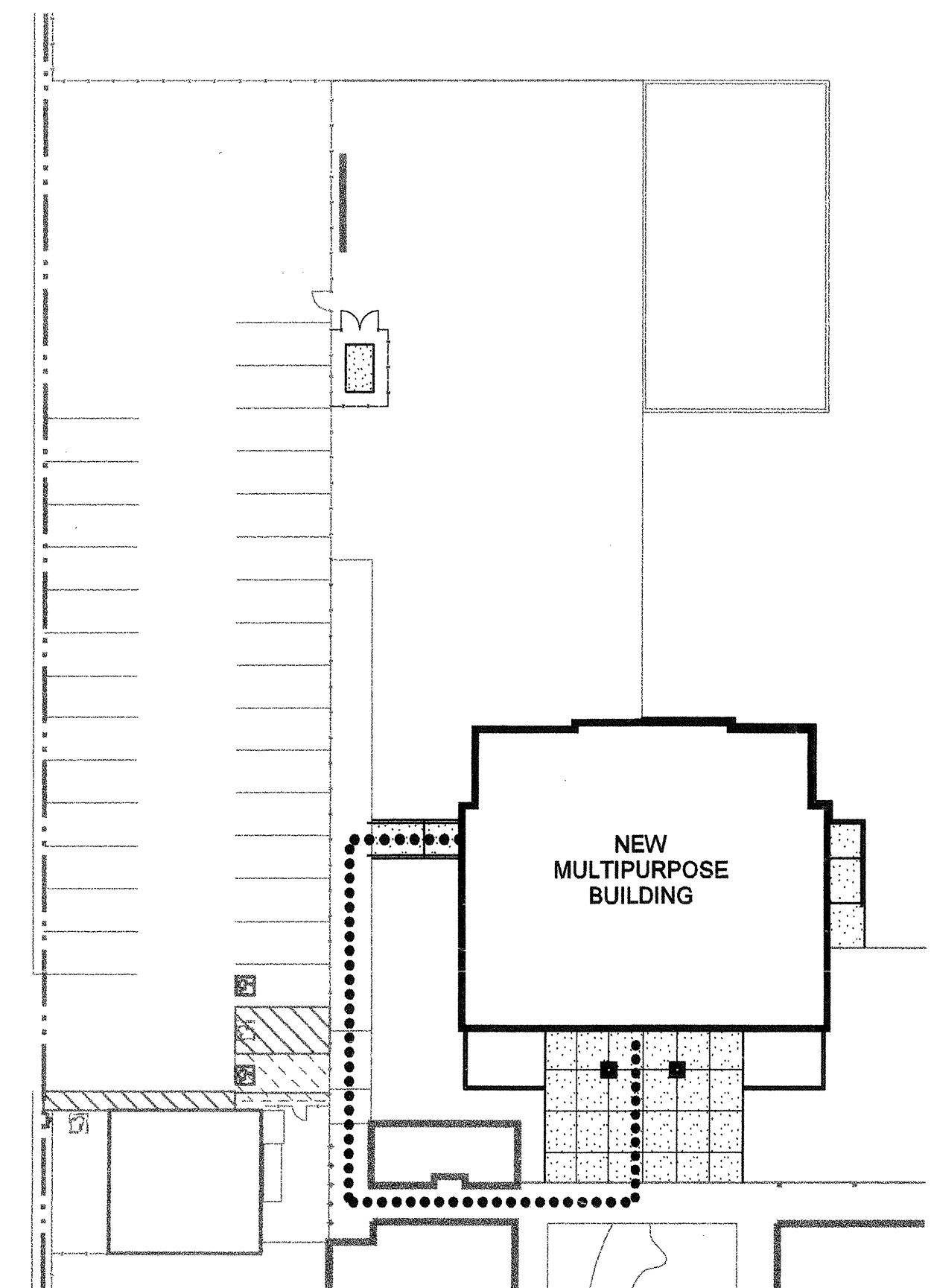


**1 SITE ACCESSIBILITY PLAN**  
 SCALE 1" = 40'-0"



IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT. SCALE ACCORDINGLY.  
 6/20/15 2:24:41 PM  
 I:\\_Revit\LocalFiles\015150\_BIM\_MASTER\_R15\_CENTRAL\_dchad\title.rvt

3:48:01 PM ...02181A.1 Site Plan.dgn  
3/22/2024



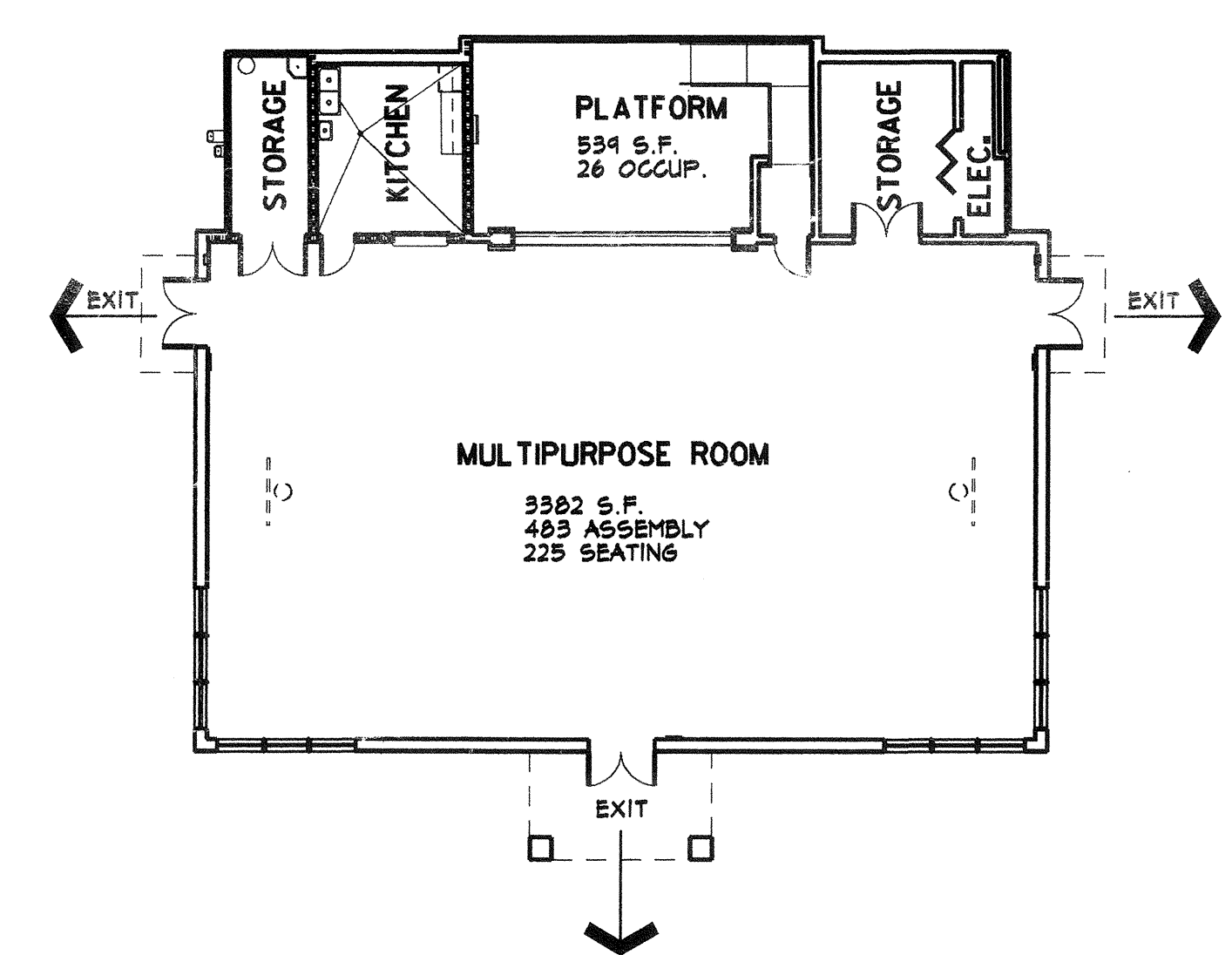
**CODE ANALYSIS PLAN**

SCALE: 1"=30'-0"

**CODE DATA:**

CONSTRUCTION TYPE	OCCUPANCY	ALLOWABLE AREA	AREA	NOTES
MULTI-PURPOSE BUILDING	II-ONE HOUR	A2.1	13,500	4,185 (1), (2)

(1) AUTOMATIC FIRE SPRINKLER SYSTEM USED AS SUBSTITUTE FOR ONE-HOUR RESISTANCE PER 2001 CBC SECTION 508



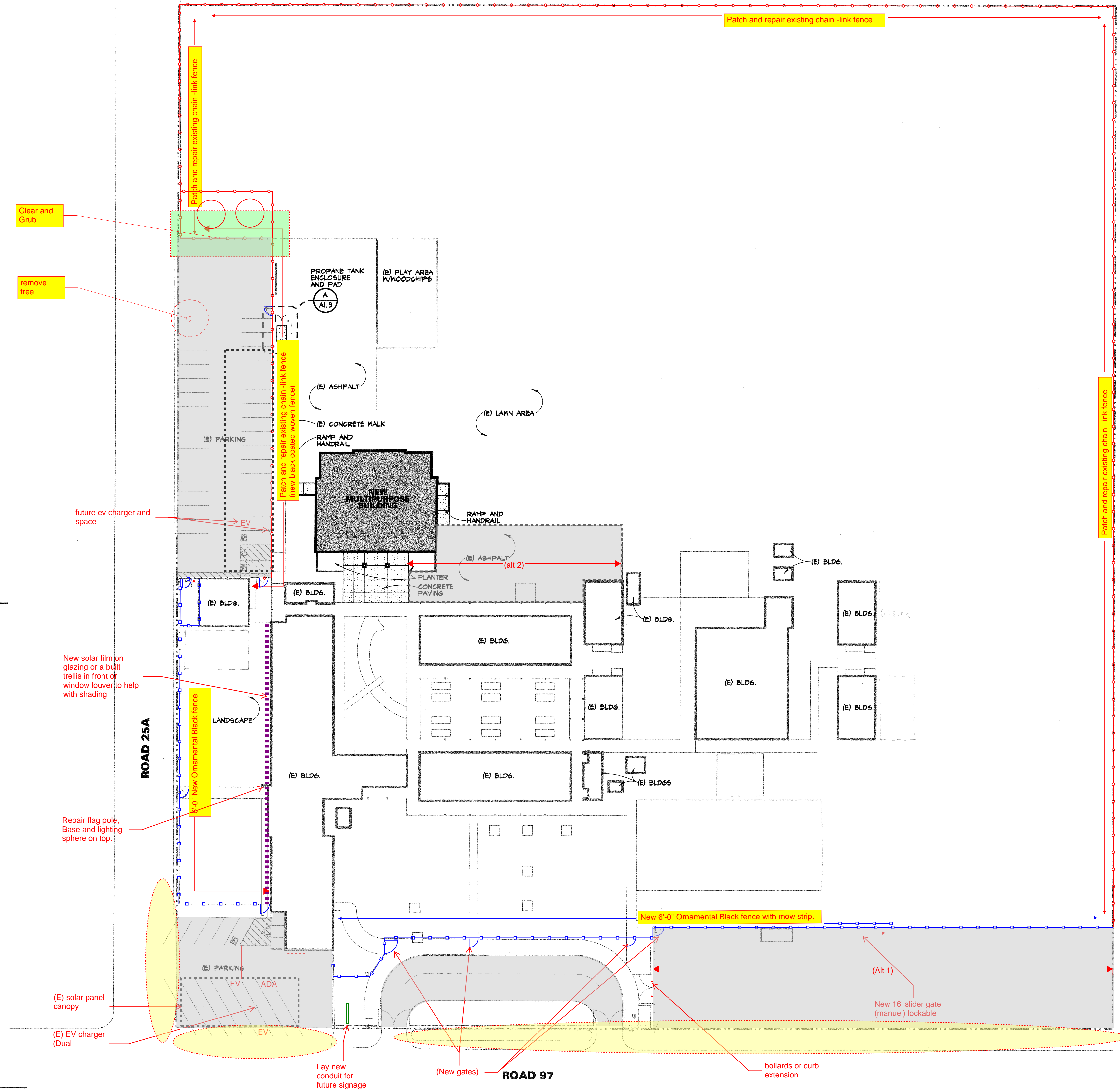
**AREA, OCCUPANCY & EXITING DIAGRAM**

SCALE: 3/32"=1'-0"

FIRE DEPARTMENT ACCESS, EGRESS AND GATE ENTRANCES HAVE BEEN REVIEWED FOR COMPLIANCE WITH SECTION 3.05 AND 3.16, TITLE 14;  
FIRE FLOW AND FIRE HYDRANTS HAVE BEEN REVIEWED FOR COMPLIANCE WITH STATE APPENDICES III-AA AND III-B, PART 4, TITLE 24;  
LOCATION OF FIRE DEPARTMENT CONNECTION (FDC) FOR FIRE SPRINKLERS HAS BEEN REVIEWED (IF APPLICABLE).

NAME OF REVIEWER: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
AGENCY: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_

**2 LOCAL FIRE AUTHORITY REVIEW**



**SITE PLAN**

SCALE: 1"=30'-0"

- New asphalt paving and striping
- Flooding
- All buildings to be repainted (except MPR Building)
- Civil to survey entire site.

**LEGEND**

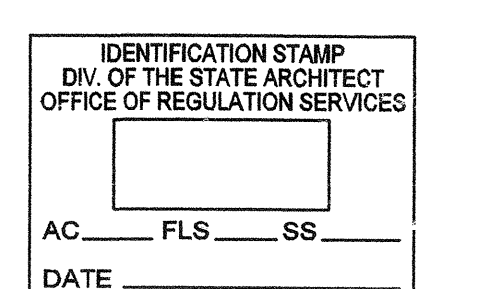
- PROPERTY LINE
- FENCE LINE
- ACCESSIBLE PATH OF TRAVEL
- EXISTING BUILDINGS
- NEW MULTI-PURPOSE BUILDING
- NEW CONCRETE

PROJECT NO. 23156 DATE MAR. 2024  
DRAWN BY MFG CHECKED BY RN

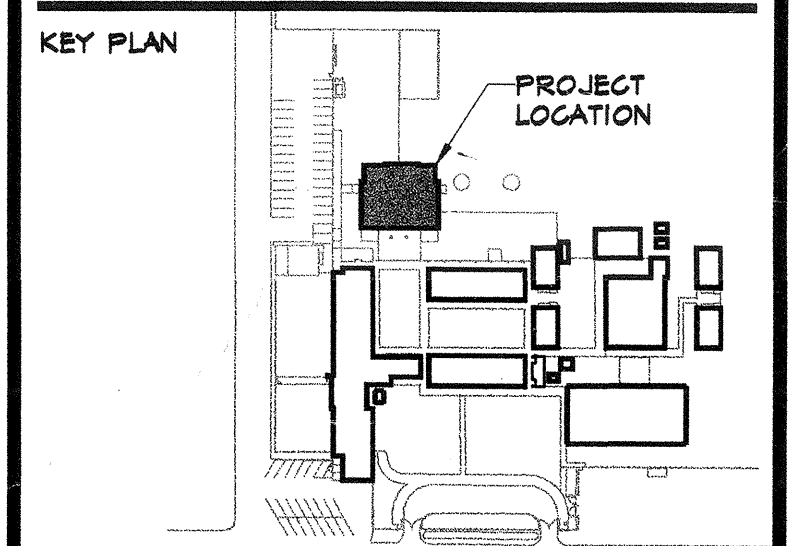
CONSULTANT

NO.	REVISIONS AUTHORIZATIONS	DATE	BY
1	DSA SUBMITTAL	3/26/24	

AGENCY APPROVALS



PROJECT  
**PLAINFIELD ELEMENTARY SCHOOL MULTI-PURPOSE BUILDING**  
Woodland Joint Unified School District



SHEET TITLE

**SITE PLAN**

SHEET NO. **A1.1**  
SHEET NO. OF TOTAL SHEETS

PLOT DATE: MARCH 22, 2024